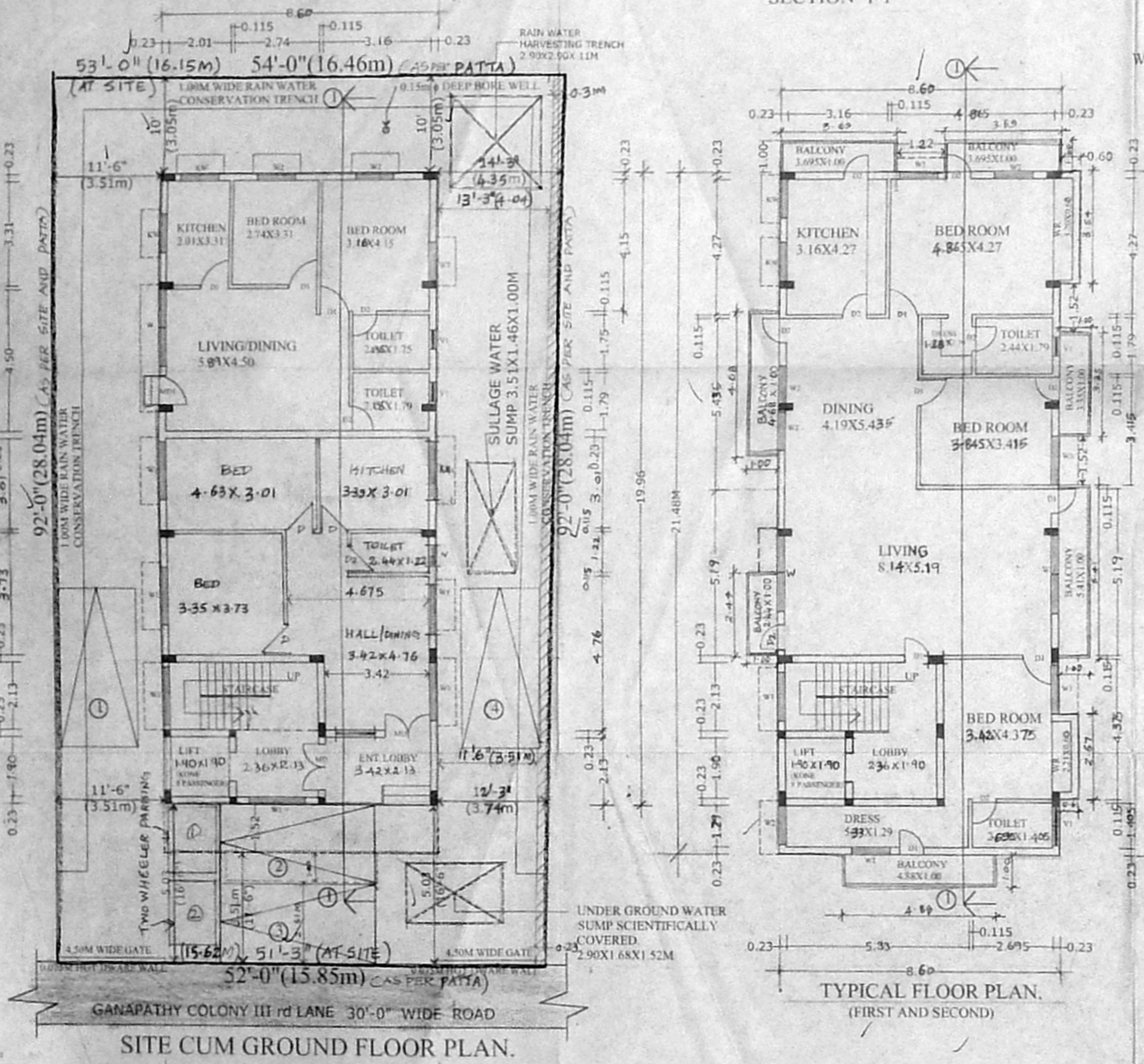
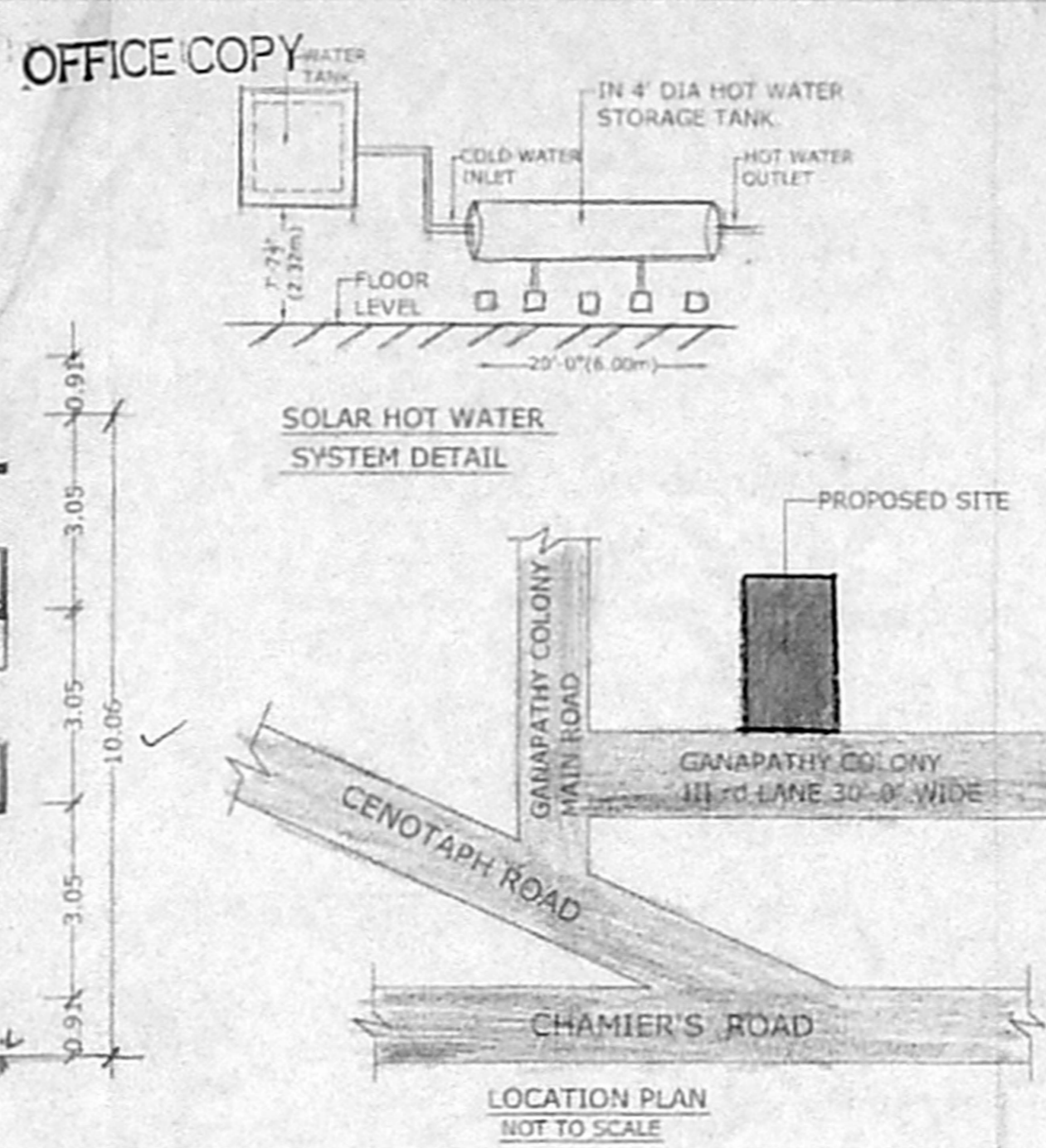


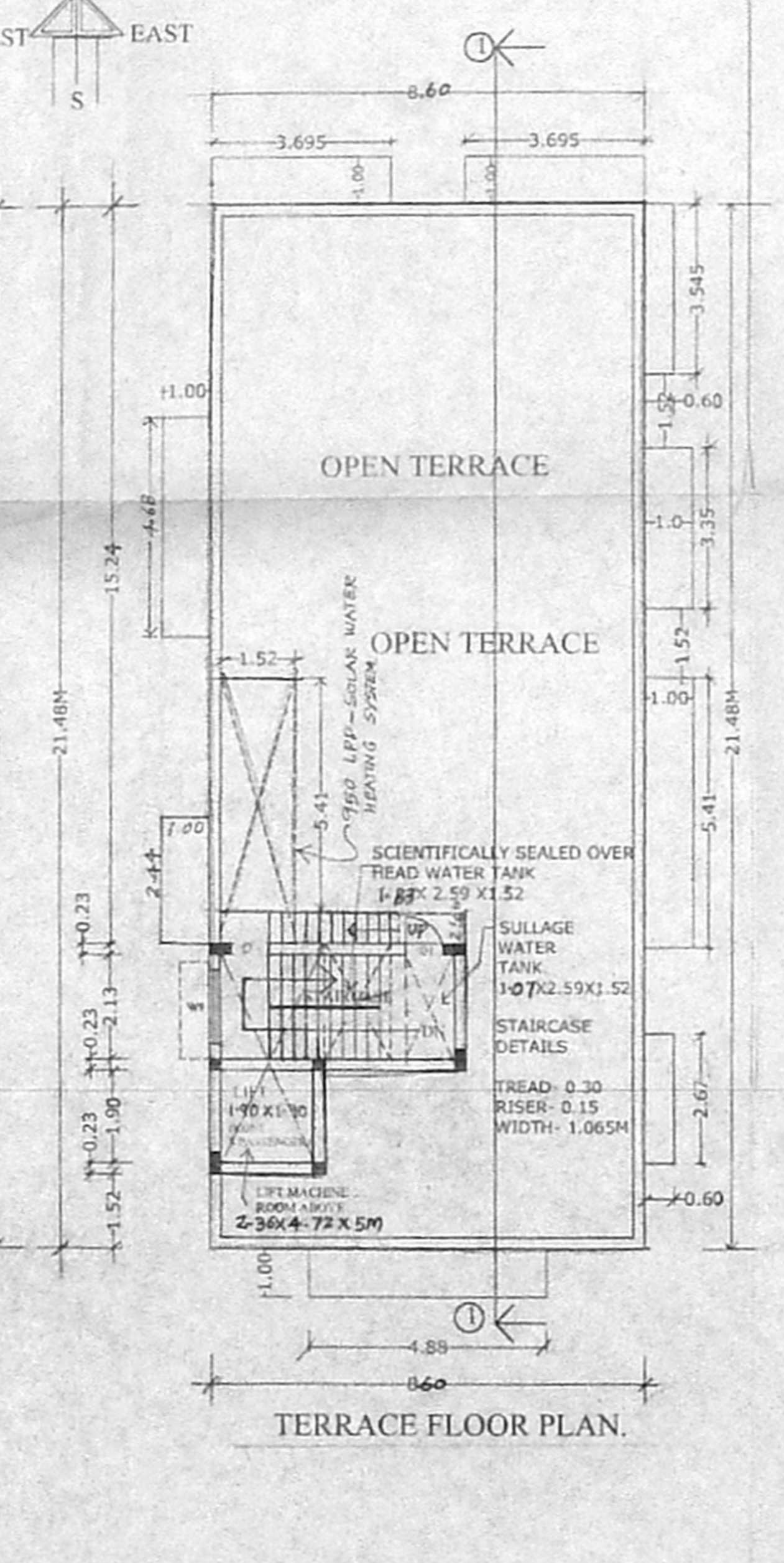
SECTION OF WATER TANK
SECTION 1-1



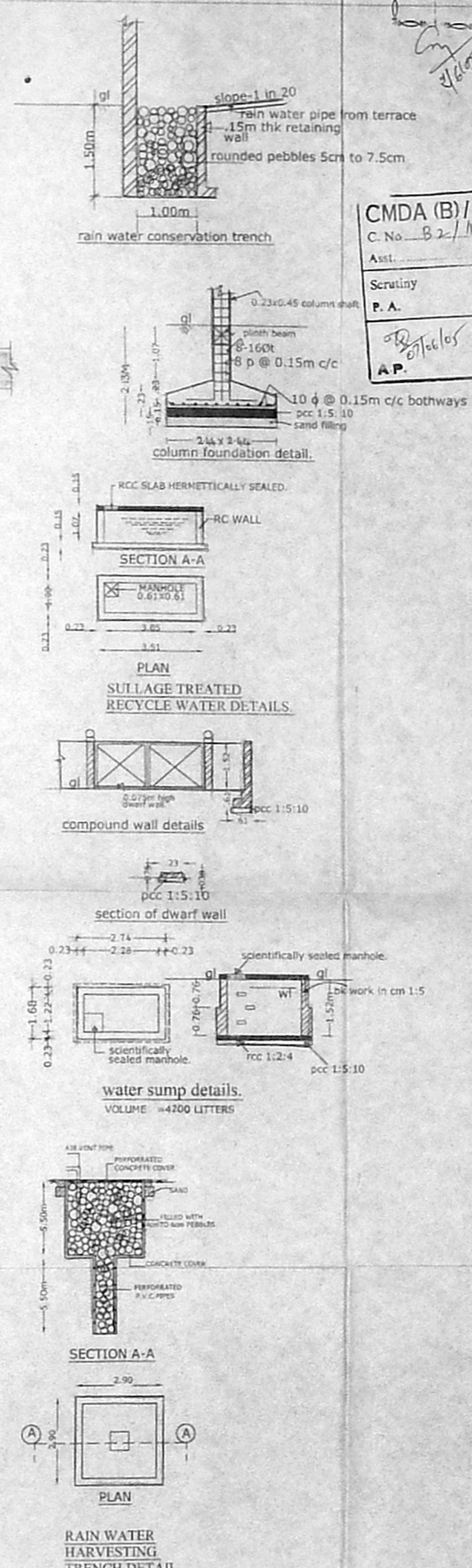
FRONT ELEVATION
SITE CUM GROUND FLOOR PLAN



OFFICE COPY
LOCATION PLAN



TYPICAL FLOOR PLAN (FIRST AND SECOND)
TERRACE FLOOR PLAN



RAIN WATER HARVESTING TRENCH DETAIL

Revised Plan
DATE: 21/09/2005
DRAWING SHOWING THE PROPOSED RESIDENTIAL BUILDING (G.F + II F) AT DOOR NO 3/25, GANAPATHY COLONY III RD LANE, TEYNAMPET, CHENNAI - 600018, R/S NO 3847 OF MYLAPORE, BLOCK NO: 76, DIVISION NO: 116 ZONE - B

SCHEDULE OF JOINERY

WOODEN DOOR	1.00 X 2.13
WOODEN DOOR	0.91 X 2.13
WOODEN DOOR	0.76 X 2.13
WOODEN WINDOW	2.44 X 1.36
WOODEN WINDOW	1.83 X 1.36
WOODEN WINDOW	1.22 X 1.36
WOODEN WINDOW	1.52 X 1.36
WOODEN WINDOW	1.22 X 1.00
VENTILATOR	0.61 X 0.91
OPENING	0.81 X 2.13

CMDA (B) / NO. 82/19
C.No. 82/19
Asst. P.A.
Scrutiny P.A.
D.P. AREA STATEMENT: 83.3 X 55.4
PLOT AREA = 452.98 SQM (4875.00 SFT)
GROUND FLOOR AREA = 171.66 SQM
FIRST FLOOR AREA = 216.62 SQM
SECOND FLOOR AREA = 216.62 SQM
TOTAL BUILT UP AREA = 604.90 SQM
FSI = 1.33 times
PLOT COVERAGE = 47.88 %

SPECIFICATIONS
FOUNDATION - RCC COLUMN IN MIX 1:1.5:3
ROOF SLAB, LINTEL AND SUNSHADE IN MIX 1:1.5:3 (M20)
JOINERY - TK WOOD DOORS AND TK WOOD FRAME WITH GLAZED WINDOW
FLOORING - MOSAIC
WEATHERING COURSE - BRICK JELLY LIME CONCRETE WITH WEATHER PROOF TILES

CAR PARKING CHART
FOR EVERY 75 Sq.m OF THE DWELLING AREA 1 CAR SPACE SHOULD BE PROVIDED
NUMBER OF CARS REQUIRED - 4
NUMBER OF CARS PROVIDED - 4
TWO WHEELERS PARKING 2 NOS PROVIDED.

ALL DIMENSIONS ARE IN METRES.
SCALE - 1:100. DATE:

COLOUR INDEX
PROPOSED
ROADS
BOUNDARY

SIGNATURE OF OWNER

Dr. K. SELVAN,
D.E (Civil), AMIE, C.Eng (I), AIV,
REGISTERED ENGINEER & APPROVED VALUER,
CLASS I LICENSED SURVEYOR,
1st FLOOR, 60, ADARSH COLONY,
LOOR 10, 11th FLOOR BLOCK,
GANAPATHY COLONY, CHENNAI - 600037,
(NEAR MDR ADARSH SCHOOL)
PHONE NO: 26562050
CELL NO: 9841282050